



**CITY OF DANIA BEACH  
COMMUNITY DEVELOPMENT DEPARTMENT  
STAFF REPORT**

**DATE:** December 10, 2013

**TO:** Robert Baldwin, City Manager

**VIA:** Marc LaFerrier, AICP, Director

**FROM:** Mariluz Maldonado, City Planner  
Corinne Lajoie, AICP, Principal Planner, LEED GA

**SUBJECT:** **SP-45-13:** The applicant, Bridge Development Partners LLC., on behalf of the property owner, Bridge Marina Mile, LLC., is requesting site plan approval for the property located at the west side of SW 26 Terrace, between I-595 and SW 36 Street.

**REQUEST**

Site plan approval to construct a 189,620 square feet warehouse building that will contain office uses (10%), warehouse uses (83%) and accessory distribution (7%).

**PROPERTY INFORMATION**

**ZONING:** Industrial (IROM-AA)  
**LAND USE DESIGNATION:** Industrial

**SITE PLAN**

The subject parcel is located south of I-595 between SW 26<sup>th</sup> Terrace and SW 30<sup>th</sup> Avenue and it is approximately 13.5 acres. Earlier this year, the applicant obtained approval on a delegation request to amend the plat note to restrict the use on the property to 250,000 square feet of industrial use with a maximum of thirty (30%) percent ancillary office use, and 20,000 square feet of office.

The applicant is requesting site plan approval to construct a 189,620 square feet warehouse building that will contain office uses (10%), warehouse uses (83%) and accessory distribution (7%). This request was reviewed by the Development Review Committee (DRC) and all comments were addressed.

**STAFF RECOMMENDATION**

Approval of the site plan.

## Exhibit "A"

LEGAL DESCRIPTION: MARINA MILE

A PARCEL OF LAND, BEING ALL OF PARCEL "E", "RUNWAY LAKES II", ACCORDING TO THE PLAT, THEREOF AS RECORDED IN PLAT BOOK 156, PAGE 47, AND A PORTION OF PARCEL "A", "ISGETTE'S RUNWAY", ACCORDING TO THE PLAT, THEREOF AS RECORDED IN PLAT BOOK 158, PAGE 18 AND A PORTION OF PARCEL "A", "DJP AIRPORT WEST PLAT, ACCORDING TO THE PLAT, THEREOF AS RECORDED IN PLAT BOOK 178, PAGE 69, ALL OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF SAID PARCEL "A", ISGETTE'S RUNWAY;

THENCE N.89°20'00"E. ALONG THE NORTHERLY LINE OF SAID PARCEL "A", A DISTANCE OF 772.98 FEET, TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED PARCEL OF LAND'

THENCE S.01°57'05"E., A DISTANCE OF 381.80 FEET, TO A REFERENCE POINT "A", SAID POINT BEING ON THE WESTERLY EXTENSION OF THE NORTH LINE OF PARCEL "H", "RUNWAY LAKES III", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 156, PAGE 44, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA;

THENCE N.88°49'41"E., ALONG SAID WESTERLY EXTENSION, A DISTANCE OF 78.35 FEET

THENCE N.01°56'24"W., A DISTANCE OF 381.11 FEET, TO A POINT ON THE NORTHERLY LINE OF SAID PARCEL "A"

THENCE S.89°20'00"W., ALONG SAID NORTHERLY LINE, A DISTANCE OF 78.44 FEET, TO THE POINT OF BEGINNING.

TOGETHER WITH:

COMMENCE AT THE AFOREMENTIONED REFERENCE POINT "A";

THENCE S.88°49'41"W., ALONG THE WESTERLY EXTENSION OF THE NORTH LINE OF SAID PARCEL "H", A DISTANCE OF 220.24 FEET;

THENCE S.00°54'54"E., A DISTANCE OF 66.92 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED PARCEL OF LAND;

THENCE CONTINUE S.00°54'54"E., A DISTANCE OF 217.33 FEET, TO A POINT ON THE SOUTHERLY LINE OF PARCEL "A", OF SAID "ISGETTE'S RUNWAY" PLAT, SAID POINT ALSO BEING ON THE NORTHERLY LINE OF PARCEL "A", OF SAID "DJP AIRPORT WEST PLAT";

THENCE N.89°29'30"E., ALONG SAID SOUTHERLY AND NORTHERLY LINE, A DISTANCE OF 582.40 FEET;

THENCE S.00°53'44"E., A DISTANCE OF 464.54 FEET;

THENCE N.76°15'15"W., A DISTANCE OF 255.03 FEET;

THENCE S.89°36'37"W., A DISTANCE OF 873.09 FEET, LAST MENTIONED 2 COURSES BEING COINCIDENT WITH THE SOUTHERLY LINE OF PARCEL "A", OF SAID "DJP AIRPORT WEST PLAT"

THENCE N.02°43'28"W., ALONG THE WESTERLY LINE OF SAID PARCEL "A", A DISTANCE OF 301.05 FEET;

THENCE N.06°46'17"E., ALONG SAID WESTERLY LINE, A DISTANCE OF 99.86 FEET, TO A POINT ON THE NORTHERLY LINE OF PARCEL "A", OF SAID "DJP AIRPORT WEST PLAT" SAID POINT ALSO BEING ON THE SOUTHERLY LINE OF PARCEL "A", OF SAID ISGETTE'S RUNWAY" PLAT;

THENCE N.06°20'14"E., A DISTANCE OF 0.20 FEET TO A POINT ON THE ARC OF A NON-TANGENT CURVE CONCAVE TO THE WEST A RADIAL LINE OF SAID CURVE THROUGH SAID POINT HAVING A BEARING OF S.89°47'17"W.;

THENCE NORTHERLY ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A CENTRAL ANGLE OF 02°25'59" AND A RADIUS OF 2729.00 FEET FOR AN ARC DISTANCE OF 115.88 FEET TO A POINT ON A NON-TANGENT LINE;

THENCE N.01°00'08"W., A DISTANCE OF 1.04 FEET;

THENCE N.02°43'43"W., A DISTANCE OF 98.85 FEET;

THENCE N.89°20'20"E., A DISTANCE OF 537.85 FEET TO THE POINT OF BEGINNING.

SAID LAND SITUATE WITHIN THE CITY OF DANIA BEACH, BROWARD COUNTY, FLORIDA AND CONTAINING 16.535 ACRES (720,255.71 SQUARE FEET), MORE OR LESS





# ALTA/ACSM LAND TITLE SURVEY

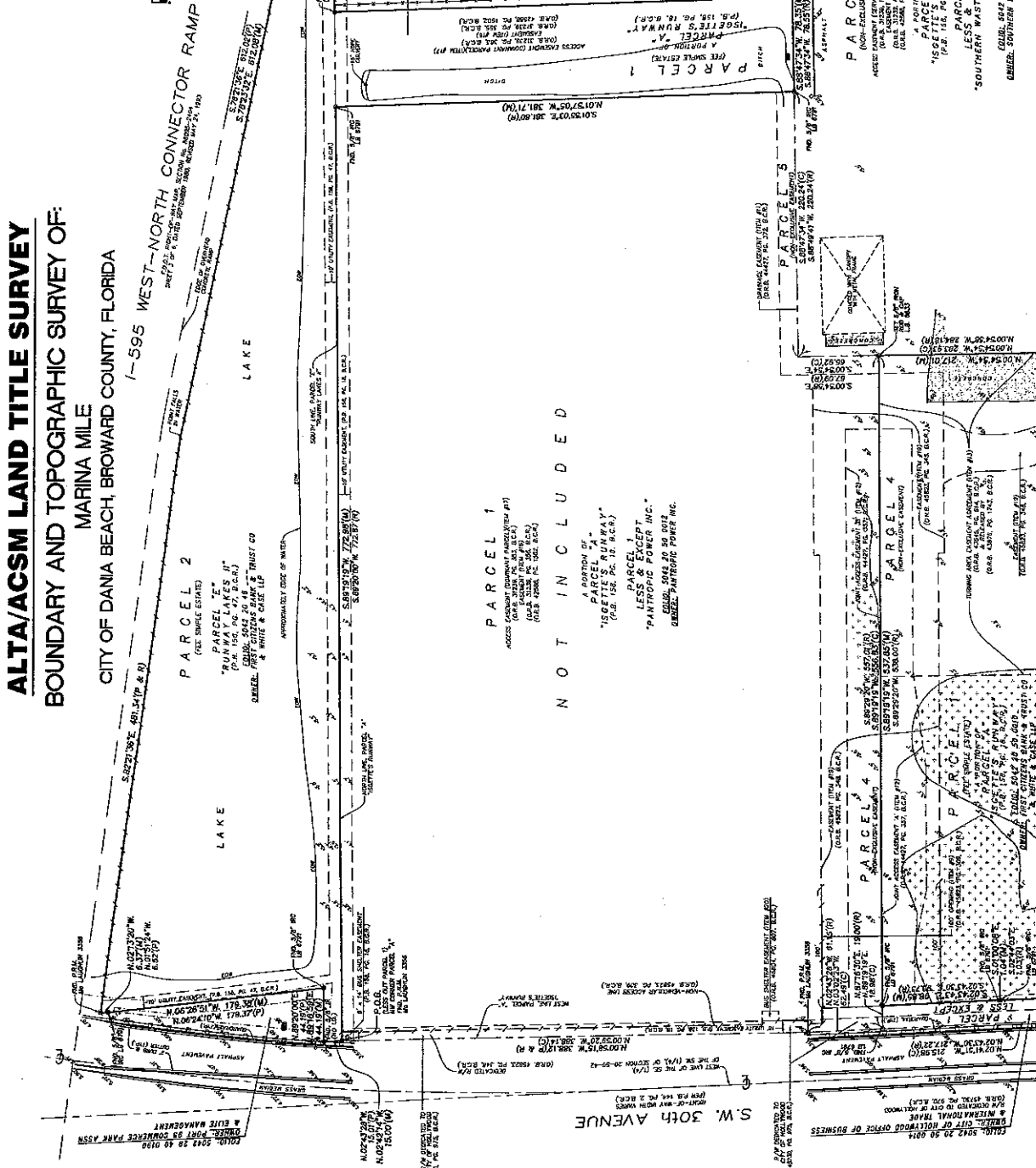
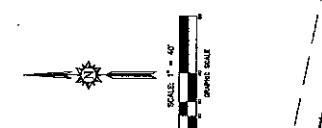
## BOUNDARY AND TOPOGRAPHIC SURVEY OF: MARINA MILE

### CITY OF DANIA BEACH, BROWARD COUNTY, FLORIDA

#### I-595 WEST-NORTH CONNECTOR RAMP

LEGEND:

1	ADJACENT PROPERTY
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100	ADJACENT PROPERTY









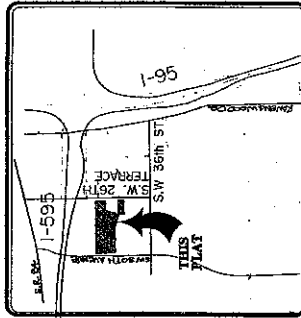


CFN # 108265889.  
Page 1 of 2  
Recorded 11/21/2008 at 03:57 PM

**"DJP AIRPORT WEST PLAT"**  
A PORTION OF THE SOUTHWEST ONE-QUARTER (SE 1/4) OF THE SOUTHWEST ONE-QUARTER (SW 1/4) OF SECTION 20, TOWNSHIP 50 SOUTH, RANGE 42 EAST, AND A PORTION OF TRACT 12 IN THE SOUTHEAST ONE-QUARTER (SE 1/4) OF MAP OF SECTION 20, TOWNSHIP 50 SOUTH, RANGE 42 EAST OF THE PLAT OF REED A. BROWN, COUNTY OF BROWARD, FLORIDA, AS SHOWN ON PAGE 69 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA.

**DESCRIPTION**  
COMMENCES AT THE NORTHWEST CORNER OF SAID SOUTHWEST ONE-QUARTER (SW 1/4) OF SECTION 20, TOWNSHIP 50 SOUTH, RANGE 42 EAST, TOGETHER WITH A PORTION OF TRACT 12 IN THE SOUTHWEST ONE-QUARTER (SE 1/4) OF MAP OF SECTION 20, TOWNSHIP 50 SOUTH, RANGE 42 EAST OF THE PLAT OF REED A. BROWN, COUNTY OF BROWARD, FLORIDA, AS SHOWN ON PAGE 69 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA, SAID PARTIALS BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

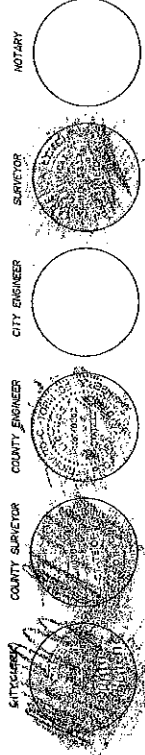
COMMENCES AT THE NORTHWEST CORNER OF SAID SOUTHWEST ONE-QUARTER (SW 1/4) OF SECTION 20, TOWNSHIP 50 SOUTH, RANGE 42 EAST, TOGETHER WITH A PORTION OF TRACT 12 IN THE SOUTHWEST ONE-QUARTER (SE 1/4) OF MAP OF SECTION 20, TOWNSHIP 50 SOUTH, RANGE 42 EAST OF THE PLAT OF REED A. BROWN, COUNTY OF BROWARD, FLORIDA, AS SHOWN ON PAGE 69 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA, SAID PARTIALS BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:



SECTION 20, TOWNSHIP 50 SOUTH, RANGE 42 EAST  
LOCATION MAP  
NOT TO SCALE

PREPARED BY  
**MILLER LEGG**  
Real Estate Office: 1800 North Broward Blvd., Suite 300  
Fort Lauderdale, FL 33304  
Phone: 754-441-2000 Fax: 754-441-2001  
www.millerlegg.com

CITY ENGINEER COUNTY ENGINEER COUNTY SURVEYOR CITY ENGINEER NOTARY



**DEDICATION**

KNOW ALL MEN BY THESE PRESENTS THAT MARINA MILE PARK OF COMMERCE, LLC, OWNER OF SAID LANDS SHOWN AND DESCRIBED HEREIN, HAS CAUSED SAID LANDS TO BE DEDICATED TO THE PUBLIC AS SHOWN ON THIS PLAT BEING A REST.

IN WITNESS WHEREOF, MARINA MILE PARK OF COMMERCE, LLC, HAS CAUSED THESE PRESENTS TO BE SIGNED IN THE CITY OF FORT LAUDERDALE, BROWARD COUNTY, FLORIDA, THIS 21st DAY OF DECEMBER, 2008, A.D.

BY: *[Signature]*  
MARINA MILE PARK OF COMMERCE, LLC, ITS MANAGING MEMBER

**THIS IS NOT AN OFFICIAL COPY**  
THIS IS NOT AN OFFICIAL COPY OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA. THIS IS NOT AN OFFICIAL COPY OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA. THIS IS NOT AN OFFICIAL COPY OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA.

**DEDICATION BY MORTGAGE HOLDER**

KNOW ALL MEN BY THESE PRESENTS THAT SAN AMERICAN BANK A NATIONAL FINANCIAL ASSOCIATION AS OWNER AND HOLDER OF A CERTAIN INTEREST IN SAID LANDS TO BE DEDICATED AND PLATTED IN THE MANAGER SHOWN HEREBY AND TO BE KNOWN AS THIS AIRPORT WEST PLAT.

IN WITNESS WHEREOF, SAN AMERICAN BANK A FLORIDA BANKING CORPORATION, HAS CAUSED THESE PRESENTS TO BE SIGNED BY ITS SENIOR VICE PRESIDENT, THIS 24th DAY OF MARCH, 2008, A.D.

BY: *[Signature]*  
SAN AMERICAN BANK A FLORIDA BANKING CORPORATION, SENIOR VICE PRESIDENT

**ACKNOWLEDGEMENT**

I, KEENEY CERTIFY THAT ON THIS DAY APPEARED BEFORE ME, KEENEY GILBERT, SWY, COUNTY OF BROWARD, FLORIDA, A FLORIDA BARRISTER AT LAW, WHO HAS BEEN DULY KNOWN TO ME AND DID NOT TAKE AN OATH.

IN WITNESS WHEREOF, I HAVE AFFIXED MY OFFICIAL SEAL AT FORT LAUDERDALE, BROWARD COUNTY, FLORIDA, THIS 24th DAY OF MARCH, 2008, A.D.



BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT  
COUNTY RECORDS DIVISION - RECORDING SECTION  
THIS INSTRUMENT WAS FILED FOR RECORD THIS 21st DAY OF DECEMBER, 2008, AT 03:57 PM.  
BY: *[Signature]*  
COUNTY CLERK

THIS PLAT COMES WITH THE APPROVAL OF THE BROWARD COUNTY BOARD OF COUNTY COMMISSIONERS OF BROWARD COUNTY, FLORIDA, AS SHOWN ON THIS PLAT BEING A REST.

BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT  
COUNTY RECORDS DIVISION - RECORDING SECTION  
THIS INSTRUMENT WAS FILED FOR RECORD THIS 21st DAY OF DECEMBER, 2008, AT 03:57 PM.  
BY: *[Signature]*  
COUNTY CLERK

IN WITNESS WHEREOF, I HAVE CAUSED THESE PRESENTS TO BE SIGNED IN THE CITY OF FORT LAUDERDALE, BROWARD COUNTY, FLORIDA, THIS 21st DAY OF DECEMBER, 2008, A.D.

BY: *[Signature]*  
BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT, COUNTY CLERK



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BROWARD COUNTY ENVIRONMENTAL PROTECTION AND GROWTH MANAGEMENT DEPARTMENT  
THIS PLAT IS APPROVED AND ACCEPTED FOR RECORD THIS 21st DAY OF DECEMBER, 2008, A.D.

BY: *[Signature]*  
BROWARD COUNTY ENVIRONMENTAL PROTECTION AND GROWTH MANAGEMENT DEPARTMENT, DIRECTOR

DANA BEACH CITY COMMISSION

THIS IS TO CERTIFY THAT THIS PLAT OF "DJP AIRPORT WEST PLAT" WAS APPROVED BY THE BOARD OF COMMISSIONERS OF THE CITY OF DANA BEACH, BROWARD COUNTY, FLORIDA, ON THIS 24th DAY OF MARCH, 2008, A.D.

NO RESOLUTIONS SHALL BE ISSUED FOR THE CONSTRUCTION OF THIS PLAT UNLESS THE BOARD OF COMMISSIONERS OF THE CITY OF DANA BEACH, BROWARD COUNTY, FLORIDA, HAS FIRST REVIEWED AND APPROVED THE PLAT. THIS PLAT IS APPROVED AND ACCEPTED FOR RECORD THIS 24th DAY OF MARCH, 2008, A.D.

BY: *[Signature]*  
CITY CLERK

CITY OF DANA BEACH PLANNING AND ZONING BOARD

THIS IS TO CERTIFY THAT THE PLANNING AND ZONING BOARD OF THE CITY OF DANA BEACH HAS REVIEWED AND APPROVED THIS PLAT FOR RECORD THIS 24th DAY OF MARCH, 2008, A.D.

BY: *[Signature]*  
DATE: 24 April 2008

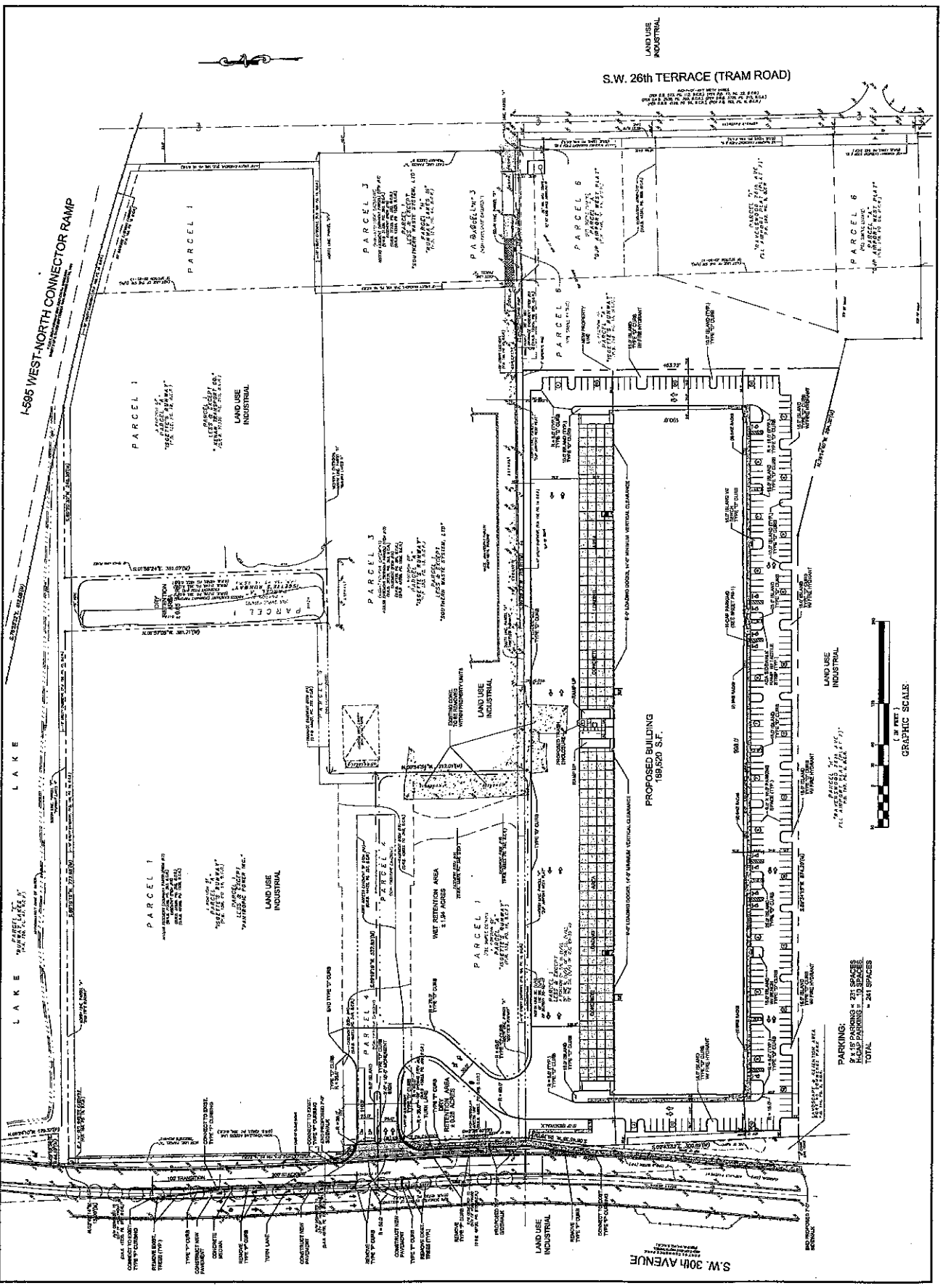
**SURVEYOR'S CERTIFICATE**


THIS IS A TRUE AND CORRECT REPRESENTATION OF THE LAND SURVEYED AND DESCRIBED HEREIN AND THAT THE SURVEY AND PLAT WERE MADE UNDER MY PERSONAL SUPERVISION AND IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 177 PART I, FLORIDA STATUTES AND THE APPLICABLE SECTION OF CHAPTER 62B OF THE FLORIDA ADMINISTRATIVE CODE. THE PERMANENT REFERENCE MONUMENTS (PLAINS) AS SHOWN ON THIS PLAT WERE MEASURED AND LOCATED IN ACCORDANCE WITH THE NATIONAL GEODETIC REFERENCE SYSTEM (NAD83) AND WERE ESTABLISHED IN CONFORMANCE WITH THE NATIONAL ACCURACY STANDARDS FOR PUBLIC LAND SURVEYS, 1993, AS ADEQUATELY CONTROLLED BY THE NATIONAL SYSTEM OF CONTROL.

BY: *[Signature]*  
PROFESSIONAL SURVEYOR AND MAPPER  
STATE OF FLORIDA, REGISTRATION NO. 5887  
MILLER LEGG  
1800 North Broward Blvd., Suite 300  
Fort Lauderdale, FL 33304  
Phone: 754-441-2000 Fax: 754-441-2001  
www.millerlegg.com



<b>LANDPLAN ENGINEERING GROUP, INC.</b> INNOVATION SOLUTIONS • DESIGN 14000 N.W. 28th Street, Suite 100 Fort Lauderdale, FL 33309 TEL: (954) 341-2551 • FAX: (954) 341-2552		<b>SITE PLAN</b> BRIDGE POINT MARINA MILE BROWARD COUNTY, FLORIDA CITY OF DANIA BEACH	SHEET <b>SP-1</b> PROJECT NO. <b>10122</b>	AERON R. GALLO, P.E. LICENSE NO. 160,463 DATE: AUGUST 2013 SCALE: AS NOTED DESIGNED BY: P.R.G. DRAWN BY: P.R.G. CHECKED BY: P.R.G. FIELD BOOK:
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LANDPLAN ENGINEERING GROUP, INC.  
 INNOVATION+SOLUTIONS+DESIGN  
 1815 W. 13TH AVENUE - SUITE 100, MIAMI, FL 33135  
 TEL: (305) 341-5511 • FAX: (305) 341-5512  


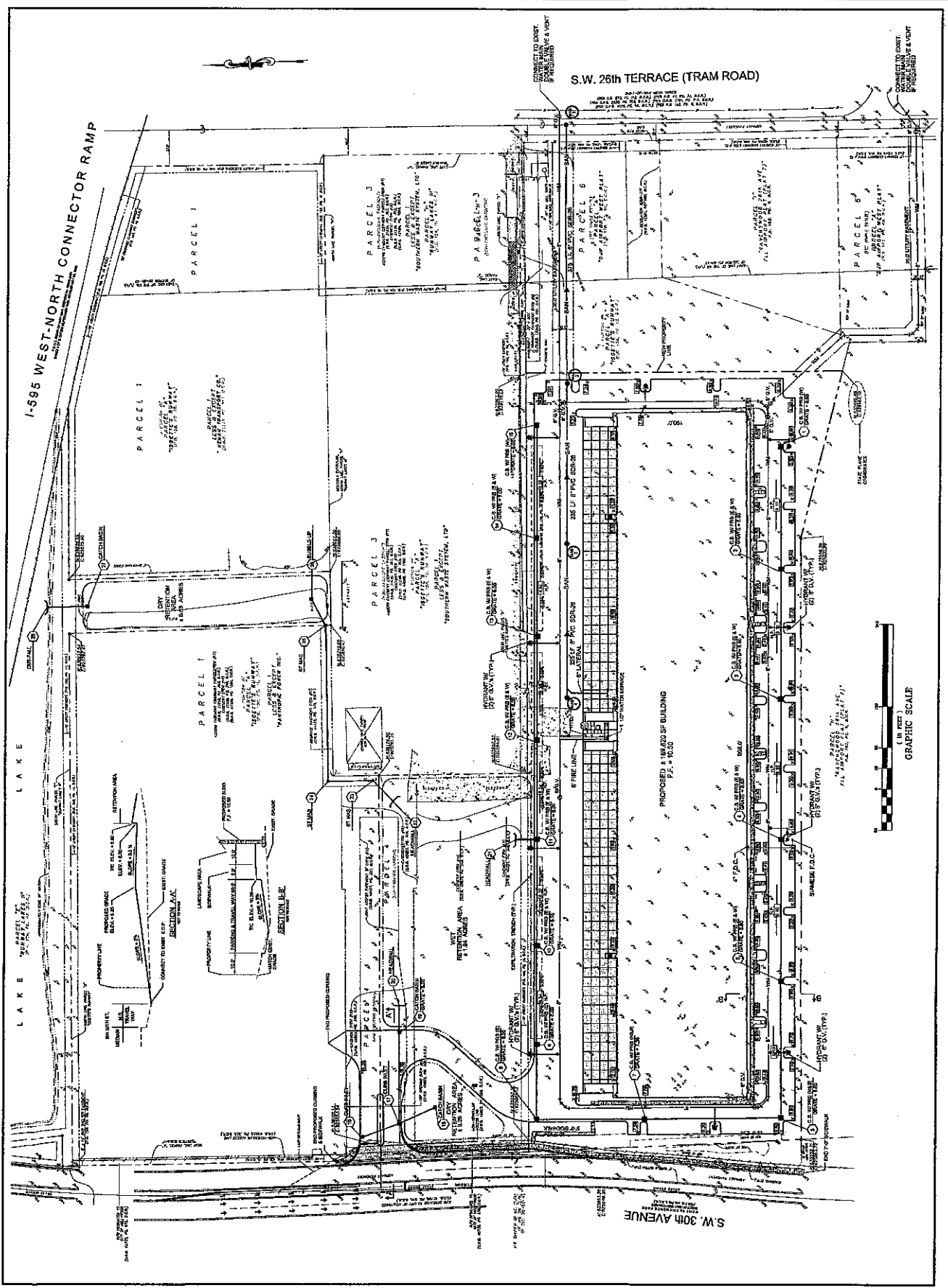
DATE	REVISIONS

DATE: AUGUST 2013  
 SCALE: AS NOTED  
 DESIGNED BY: P.B.G.  
 DRAWN BY: P.B.G.  
 CHECKED BY: P.B.G.  
 FIELD BOOK:  

BRIDGE POINT MARINA MILE  
 BROWARD COUNTY, FLORIDA  
 CITY OF DANIA BEACH  
 PRELIMINARY ENGINEERING PLAN

SHEET PE-1  
 PROJECT No. 10122

OFFER TO SELL, S.E. 1/4  
 FLORIDA REC. NO. 16433  
 (FOR THE ROW)



# BRIDGE POINT MARINA MILE PAVEMENT MARKING PLAN

CITY OF DANIA BEACH  
BROWARD COUNTY, FLORIDA

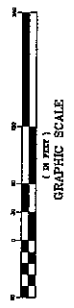
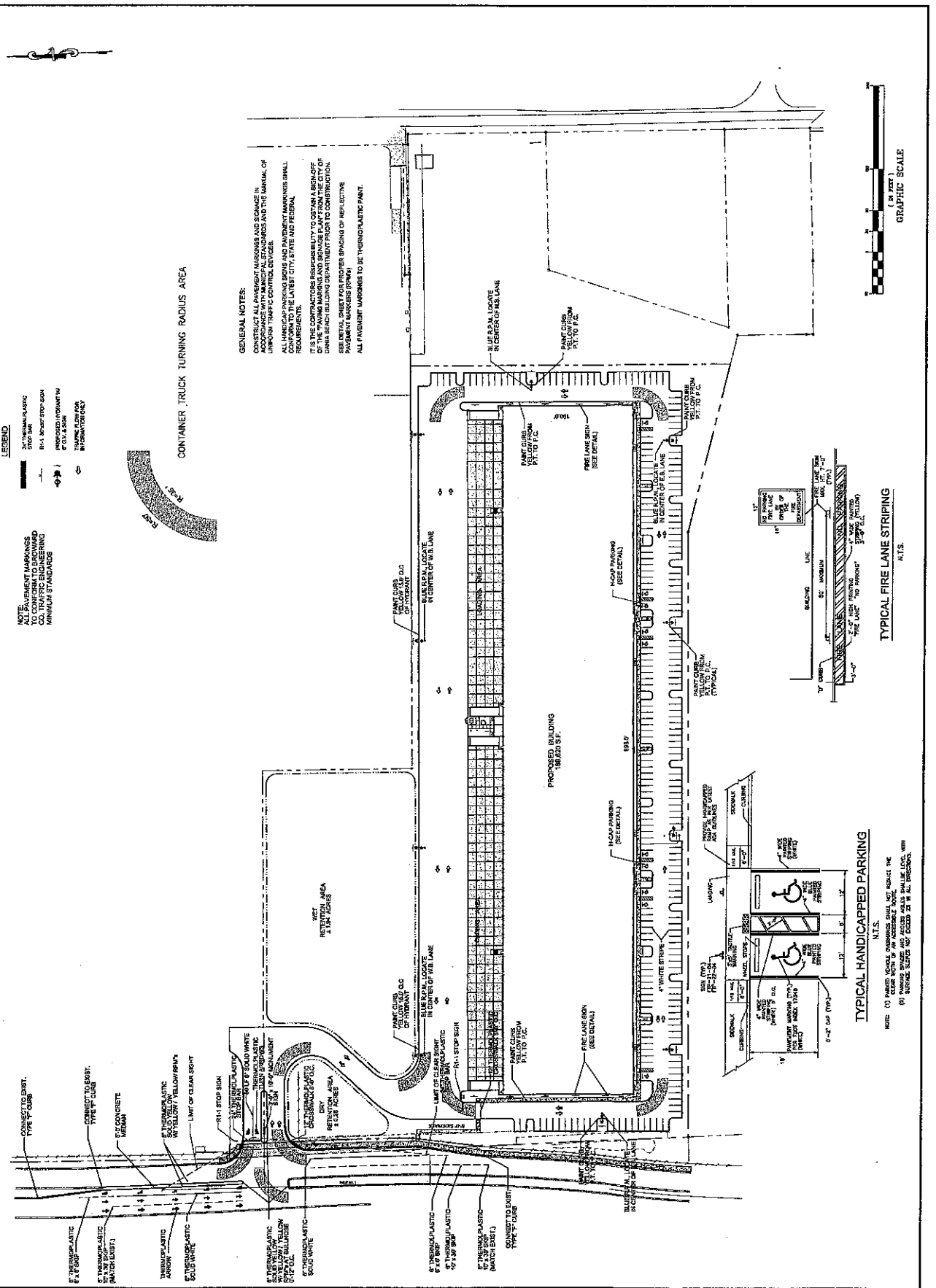
SHEET **PM-1**  
PROJECT No. **10122**

PETER R. CALO, P.E.  
FLORIDA REG. NO. 48533  
(FOR THE FIRM)

**LEAD**  
LANDPLAN ENGINEERING GROUP, INC.  
INNOVATION • SOLUTIONS • DESIGN

1425 NW 18th Avenue, Suite 100, Fort Lauderdale, FL 33311  
TEL: (954) 341-2561 • FAX: (954) 341-2562  
WWW.LEADENGINEERING.COM

DATE	SCALE	DESIGNED BY	P.A.G.
10-24-17	AS NOTED	DRAWN BY	P.A.G.
REVISIONS		CHECKED BY	P.A.G.
		FIELD BOOK	



TYPICAL FIRE LANE STRIPING  
N.T.S.

TYPICAL HANDICAPPED PARKING  
N.T.S.

NOTE: (1) PARKING SPACES SHALL BE CLEAR WITHIN 8' OF ADJACENT DRIVE.  
(2) PARKING SPACES AND ACCESSIBLE SPACES SHALL BE CLEAR WITHIN 5' OF ADJACENT DRIVE.  
(3) PARKING SPACES NOT COVERED BY ALL DIMENSIONS.



Sheet No. **A1.00**

**DEVELOPMENT REVIEW RE-SUBMITTAL**  
10/25/18



Scale: AS NOTED  
Date: 11/20/18

Project: **BRIDGE POINT MARINA**  
Project Manager: **NO**  
Checked by: **NO**  
Drawn by: **NO**

Drawing Title: **FLOOR PLAN**

REVISIONS

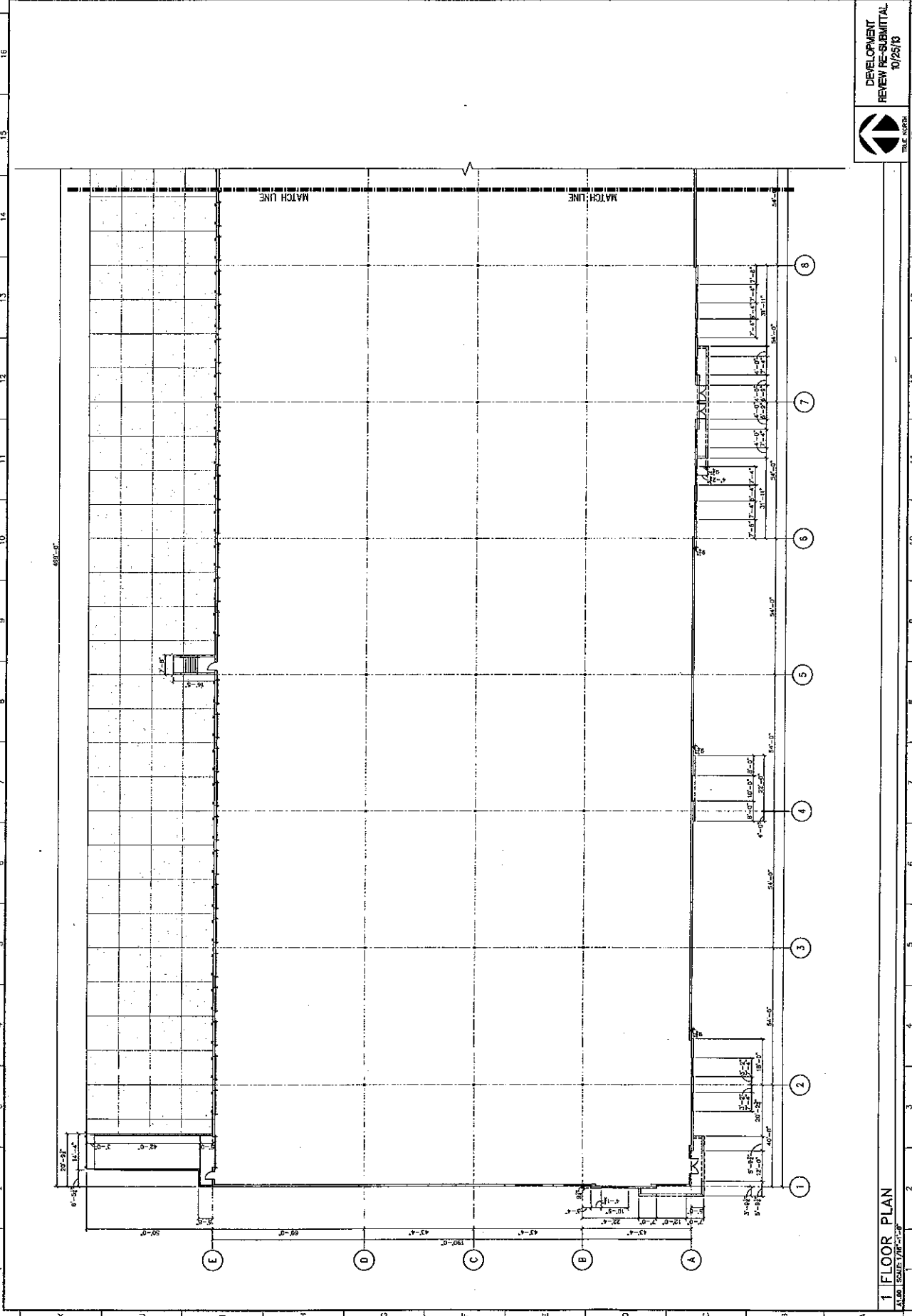
NO.	DESCRIPTION

**Bridge Point Marina Mile**  
S.W. 30th Avenue  
Dania Beach, Florida  
Bridge Development Partners



**RLC Architects**  
1545 SW 30th Avenue, Suite 100  
Miami, FL 33135  
Tel: 305.444.1111  
Fax: 305.444.1112  
www.rlcarchitects.com

THE DRAWING AND ALL THE DATA, DIMENSIONS, NOTES AND SPECIFICATIONS ARE THE PROPERTY OF RLC ARCHITECTS AND SHALL REMAIN THE PROPERTY OF RLC ARCHITECTS. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RLC ARCHITECTS, P.A.



**1 FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



Sheet No. **A1.10**

**DEVELOPMENT REVIEW RE-SUBMITTAL**  
10/28/19



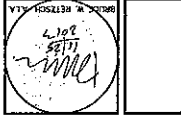
DATE: 10/28/19

Project: **BRIDGE POINT MARINA MILE**  
Project Manager: **NC**  
Drawn by: **MS/2019**  
Scale: **AS NOTED**  
Sheet No.: **13001.00**  
Date: **10/28/19**

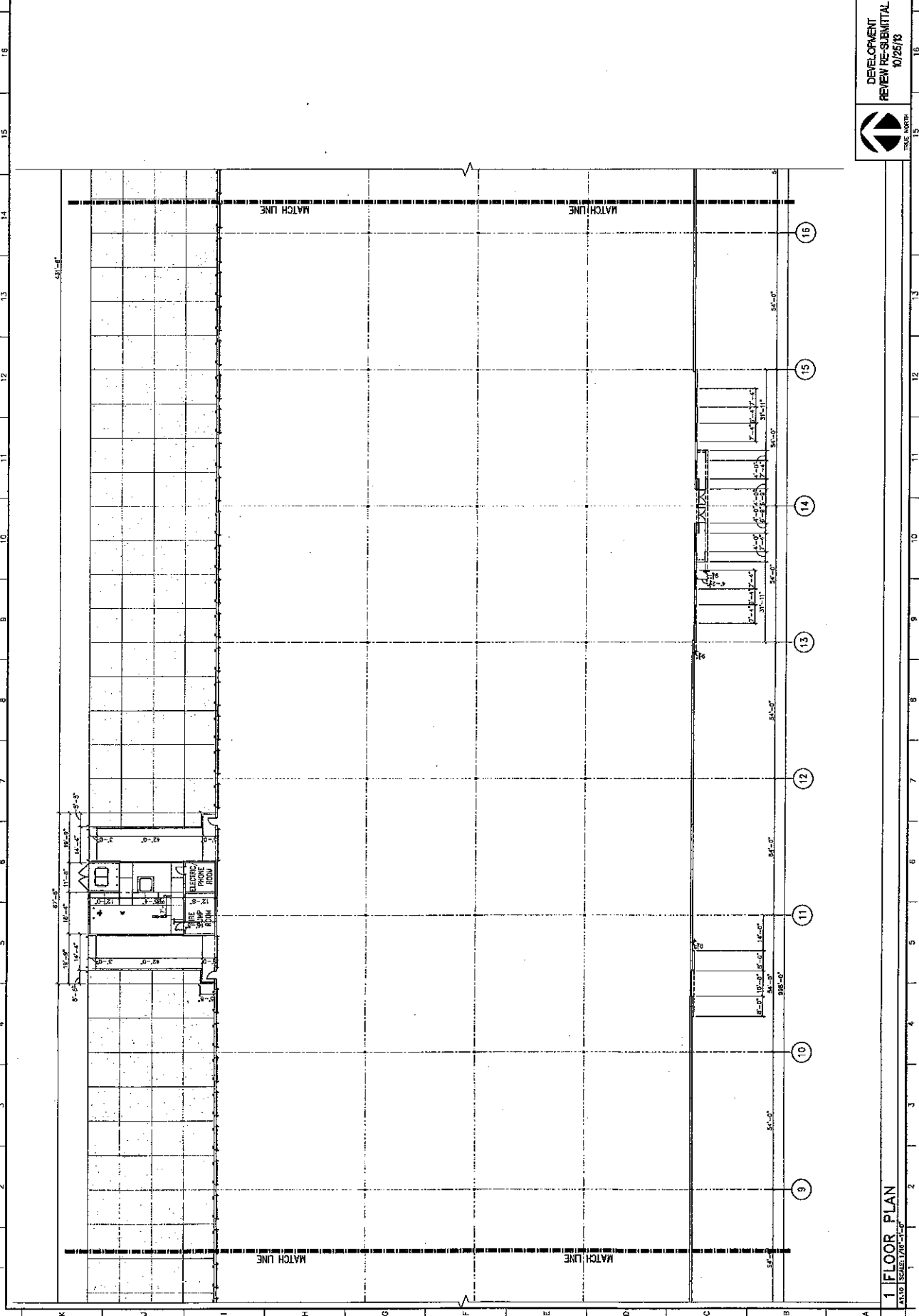
REVISIONS

NO.	DESCRIPTION	DATE

**Bridge Point Marina Mile**  
S.W. 30th Avenue  
Dania Beach, Florida  
Bridge Development Partners



**RLC Architects**  
11400 N.W. 11th Street, Suite 100  
Miami, Florida 33150  
Tel: 305.555.1111  
Fax: 305.555.1112  
www.rlcarchitects.com



**1 FLOOR PLAN**  
DATE: 10/28/19

RLC Architects  
 1400 S.W. 8th Street, Suite 100  
 Ft. Lauderdale, FL 33304  
 Phone: (954) 562-1234  
 Fax: (954) 562-1235  
 www.rlcarchitects.com

Bridge Development Partners  
 S.W. 30th Avenue  
 Dania Beach, Florida

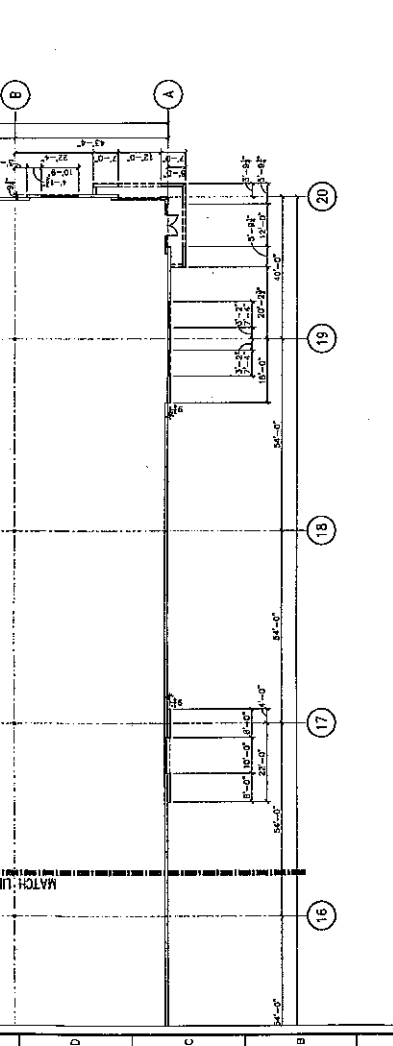
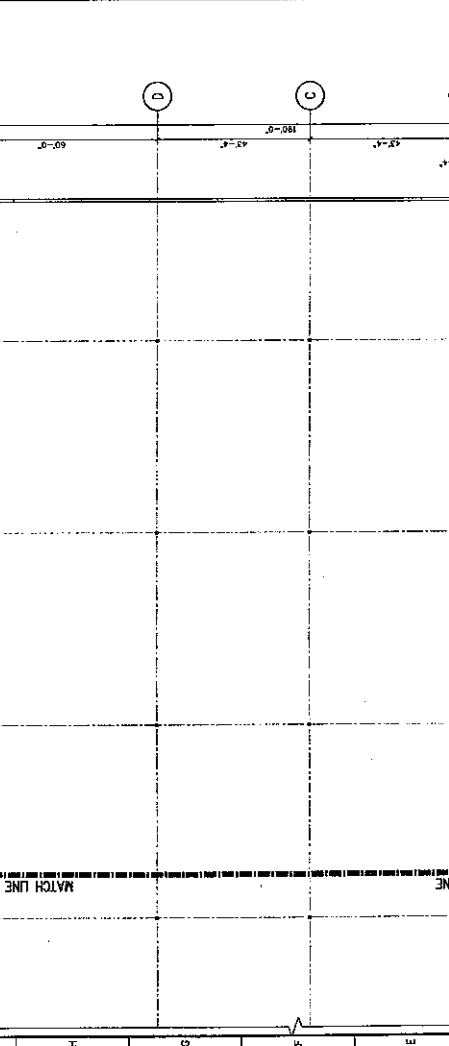
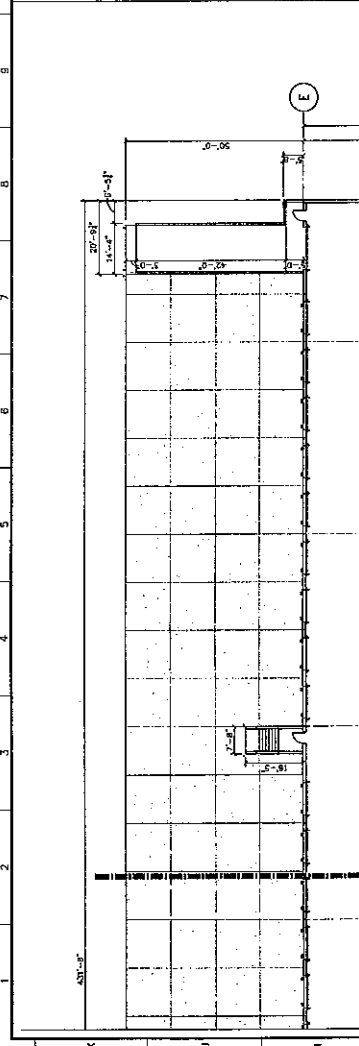
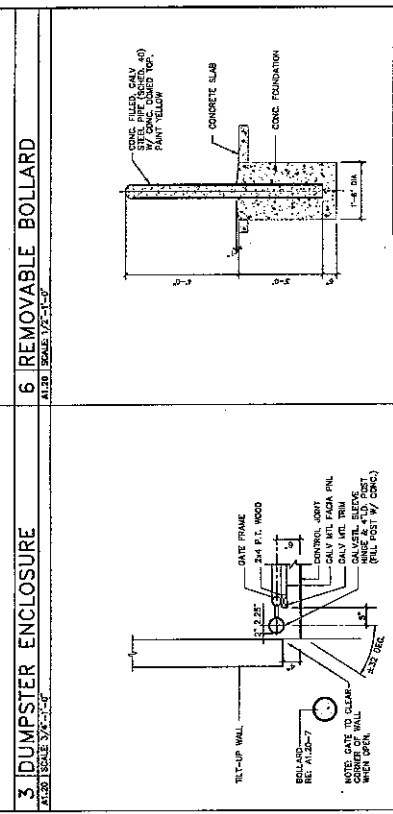
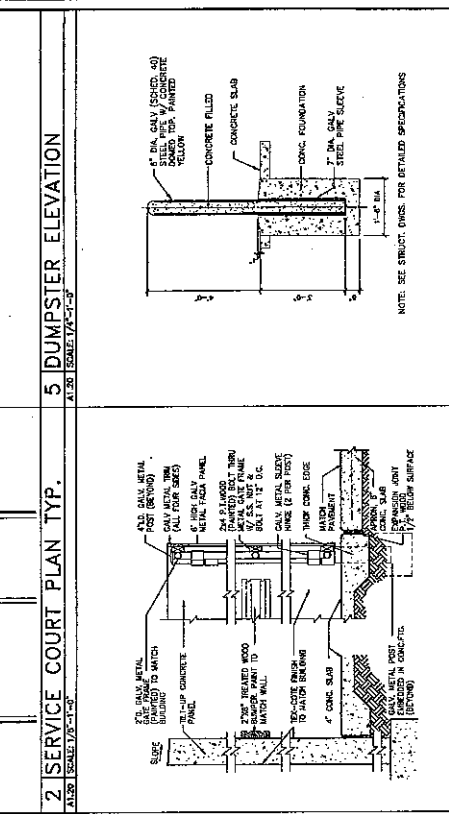
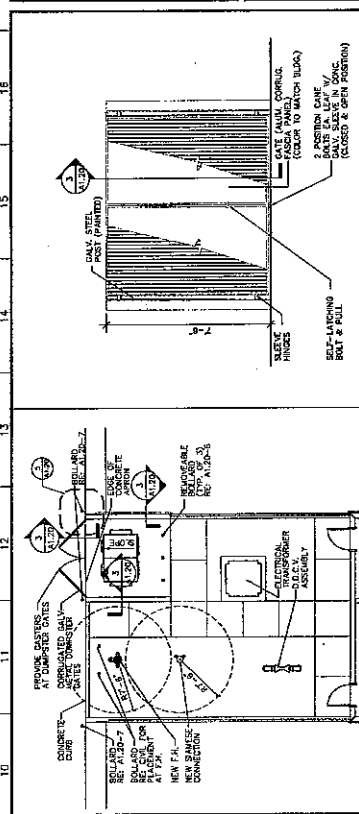
Drawing Title: **PHYSICAL PLAN + DETAILS**  
 Scale: AS NOTED  
 Project No.: 13007.00  
 Date:

Principal: [Signature]  
 Project Director: [Signature]  
 Checked by: [Signature]

Sheet No.: **A1.20**

DEVELOPMENT  
 REVIEW RE-SUBMITTAL  
 10/25/13

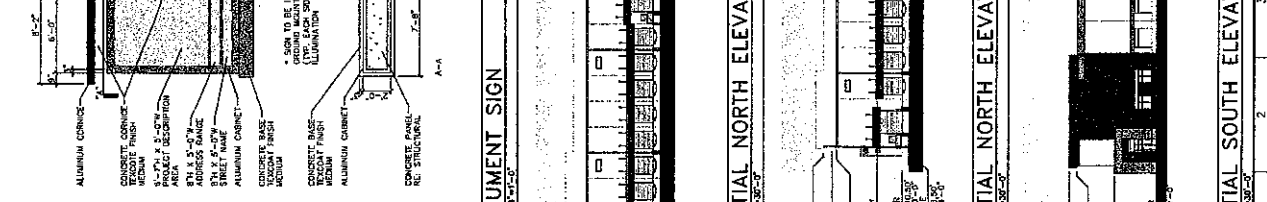
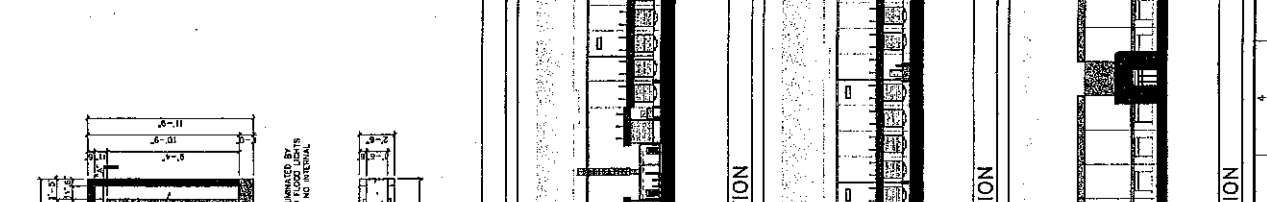
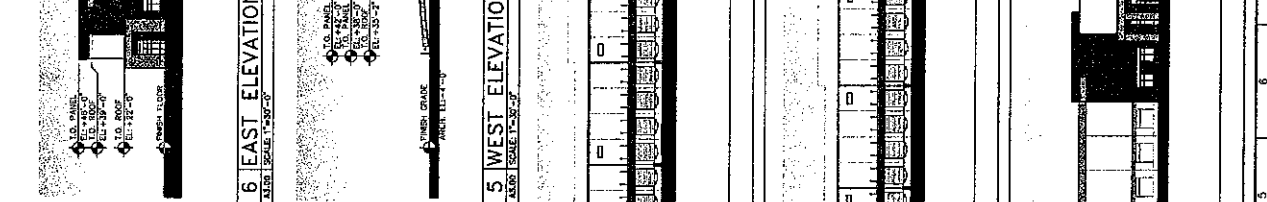
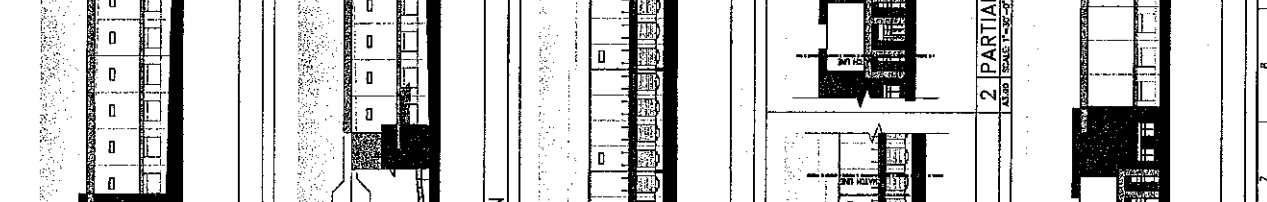
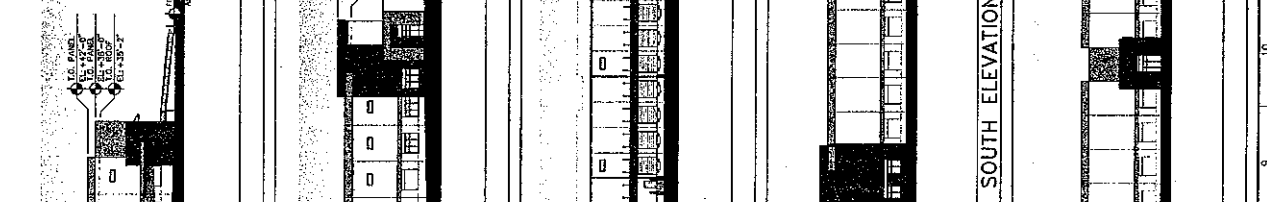
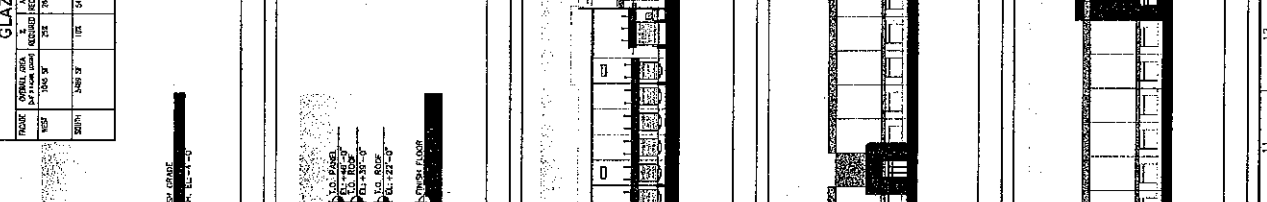
RUC NORTH



**GENERAL NOTES**  
 1. ALL CONCRETE SHALL BE TREATED WITH EXPOSED AGGREGATE.  
 2. FINISH GRADE SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.  
 3. ALL CONCRETE SHALL BE TREATED WITH EXPOSED AGGREGATE.  
 4. ALL CONCRETE SHALL BE TREATED WITH EXPOSED AGGREGATE.  
 5. ALL CONCRETE SHALL BE TREATED WITH EXPOSED AGGREGATE.  
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 13. ALL CONCRETE SHALL BE TREATED WITH EXPOSED AGGREGATE.  
 14. ALL CONCRETE SHALL BE TREATED WITH EXPOSED AGGREGATE.  
 15. ALL CONCRETE SHALL BE TREATED WITH EXPOSED AGGREGATE.

**GLAZING CALCULATIONS**

FRAME	OVERALL AREA	GLAZING AREA	GLAZING PERCENT	AREA	PERCENT	COMPARISON INFORMATION
WEST	1000 SF	400 SF	40%	1000 SF	40%	GLAZING PERCENT: 40% (400 SF / 1000 SF)
EAST	1000 SF	400 SF	40%	1000 SF	40%	GLAZING PERCENT: 40% (400 SF / 1000 SF)
NORTH	1000 SF	400 SF	40%	1000 SF	40%	GLAZING PERCENT: 40% (400 SF / 1000 SF)
SOUTH	1000 SF	400 SF	40%	1000 SF	40%	GLAZING PERCENT: 40% (400 SF / 1000 SF)
TOTAL	4000 SF	1600 SF	40%	4000 SF	40%	GLAZING PERCENT: 40% (1600 SF / 4000 SF)

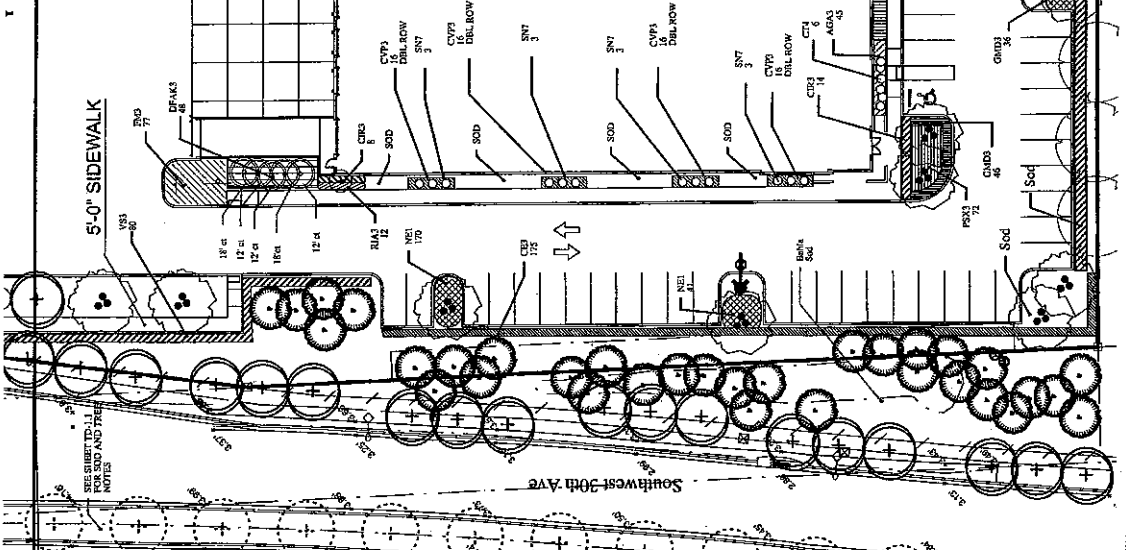


Matchline Sheet L-3  
Matchline Sheet L-1

Shrub List and Legend

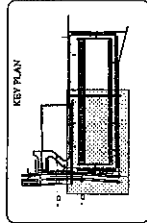
SYMBOL	TREES	QTY	SYMBOL	PALEMS	QTY
N	Sequoia Red Oak 12" x 12" @ 10' Sp.	45	N	Sisal Palm 10' x 10' @ 10' Sp.	42
N	Green Island Palm 12" x 12" @ 10' Sp.	61	N	Black Cymosa Palm 10' x 12" x 6' Sp.	121
N	Green Island Palm 12" x 12" @ 10' Sp.	6	N	Crape Myrtle 8' x 8' Sp.	12
N	Green Island Palm 12" x 12" @ 10' Sp.	60			
N	Green Island Palm 12" x 12" @ 10' Sp.	7			

5'-0" SIDEWALK



**Bid Notes**

- Any discrepancies concerning the quantities or conditions of the work shall be noted on the drawings immediately upon receipt of the drawings and before the start of work. The contractor shall be responsible for any omissions or errors on the drawings.
- The contractor shall be responsible for the procurement of all materials and labor. The contractor shall be responsible for the procurement of all materials and labor. The contractor shall be responsible for the procurement of all materials and labor.
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114  
Landscape

Landscape Plan

Bridgeport Marina Mile  
Tampa Beach Beach, FL

JAMES SANTIAGO  
Landscape Architect  
1022-113 ES  
Tampa, FL 33606

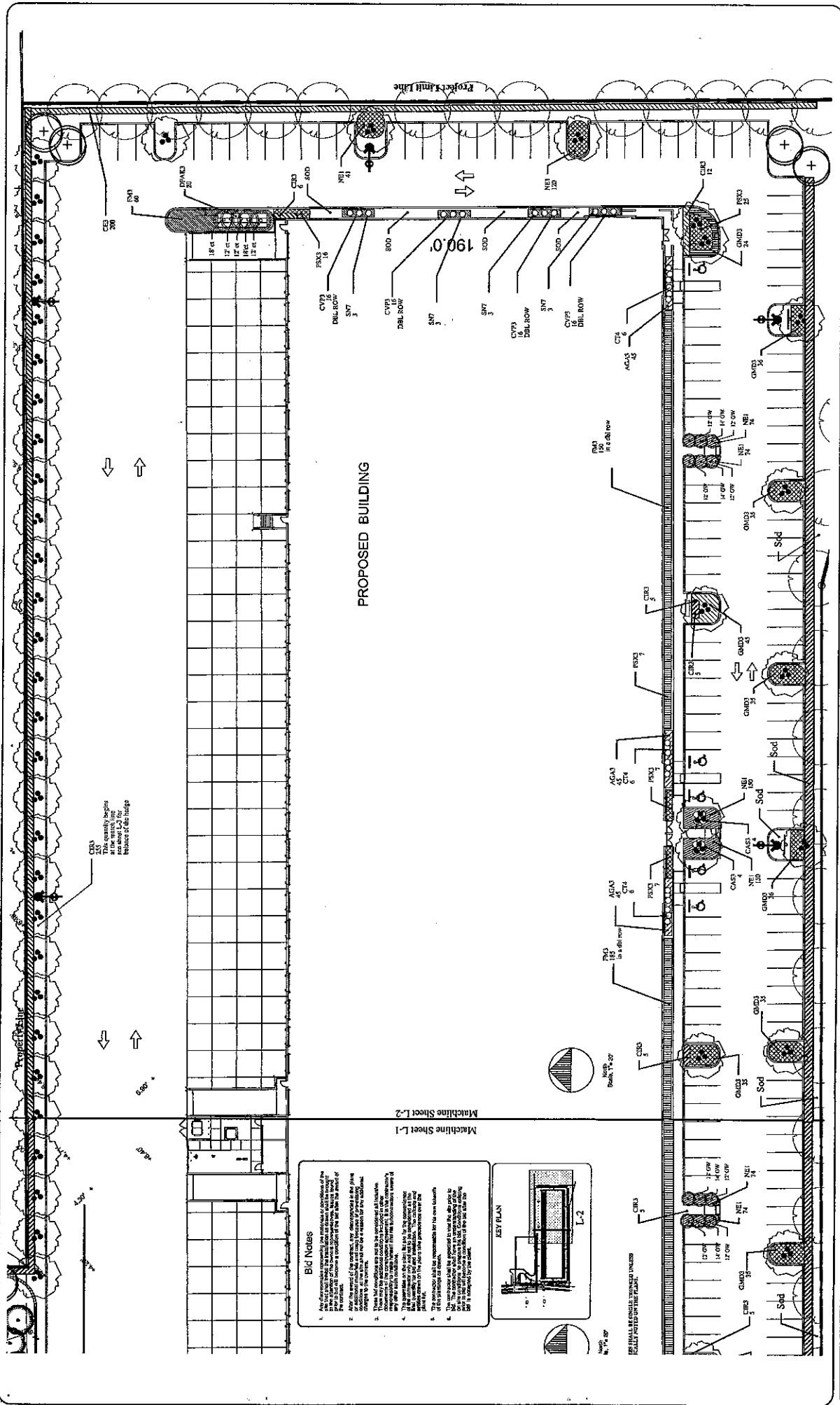
FILE NO.  
PROJECT  
ISSUE

SCALE  
1" = 20'

10/23/13 ES  
Date  
Checked

NO.	DATE	DESCRIPTION
1	10/23/13	ES

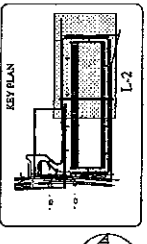
NO.	DATE	DESCRIPTION



PROPOSED BUILDING  
 190.0'

CHS3  
 This quantity begins at the location of the bridge and extends for the distance of the bridge.

- Bid Notes**
1. All quantities are to be installed in accordance with the notes in the project manual and the notes in the notes to the contract.
  2. Allow for removal of the material, when it is no longer required for the project. The contractor shall be responsible for the removal of the material and the disposal of the same.
  3. There are no quantities for the proposed building. The contractor shall be responsible for the construction of the building in accordance with the notes in the project manual and the notes in the notes to the contract.
  4. The contractor shall be responsible for the construction of the building in accordance with the notes in the project manual and the notes in the notes to the contract.
  5. The contractor shall be responsible for the construction of the building in accordance with the notes in the project manual and the notes in the notes to the contract.
  6. The contractor shall be responsible for the construction of the building in accordance with the notes in the project manual and the notes in the notes to the contract.



CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE BUILDING IN ACCORDANCE WITH THE NOTES IN THE PROJECT MANUAL AND THE NOTES IN THE NOTES TO THE CONTRACT.

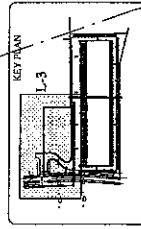
LAND USE  
INDUSTRIAL

JOINT ACCESS EASEMENT 'B' (ITEM #12)  
(O.R.B. 44427, PG. 357, B.C.R.)

WET RETENTION AREA  
≈ 1.94 ACRES

EXISTING TREE SYMBOLS

★ TREE TO REMAIN



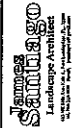
Matchline Sheet L-3  
Matchline Sheet L-1

**Bridgeport Marina Mile**  
Dania Beach Beach, FL

**Landscape Plan**

**L-3.4**

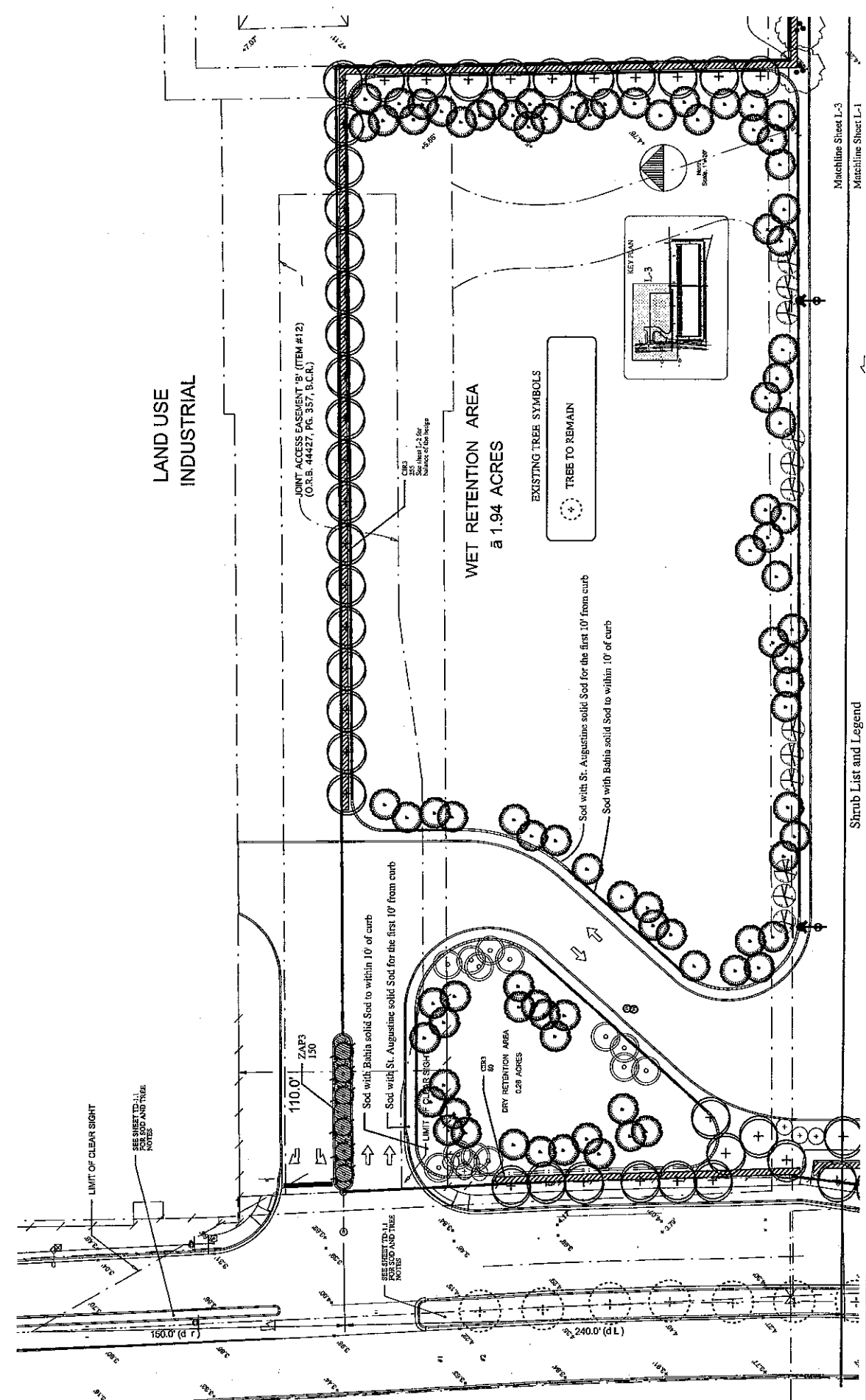
Shrub List and Legend



FILE NO. 21042  
SCALE 1" = 20'  
DATE  
ISSUE

3-28-15  
DATE  
CHECKED

NO.	DATE	DESCRIPTION





**Tree Inventory**

Number	Tree Name	DBH"	Disposition
001	Live Oak Tree	6"	Remove
002	Live Oak Tree	6"	Remove
003	Live Oak Tree	6"	Remove
004	Live Oak Tree	6"	Remove
005	Live Oak Tree	6"	Remove
006	Live Oak Tree	6"	Remove
007	Live Oak Tree	6"	Remove
008	Live Oak Tree	6"	Remove
009	Live Oak Tree	6"	Remove
010	Live Oak Tree	6"	Remove
011	Live Oak Tree	6"	Remove
012	Live Oak Tree	6"	Remove
013	Live Oak Tree	6"	Remove
014	Live Oak Tree	6"	Remove
015	Live Oak Tree	6"	Remove
016	Live Oak Tree	6"	Remove
017	Live Oak Tree	6"	Remove
018	Live Oak Tree	6"	Remove
019	Live Oak Tree	6"	Remove
020	Live Oak Tree	6"	Remove
021	Live Oak Tree	6"	Remove
022	Live Oak Tree	6"	Remove

**Bid Notes**

- Any discrepancies concerning the materials or conditions of the site shall be noted in writing by the contractor prior to the start of work. The contractor shall be responsible for any damage to existing trees or structures that may occur during the course of the project.
- After the start of the project, any discrepancies in the plan or field conditions shall be noted in writing by the contractor prior to the start of work. The contractor shall be responsible for any damage to existing trees or structures that may occur during the course of the project.
- These bid conditions are not to be considered all inclusive. There may be additional conditions not included in this list. The contractor shall be responsible for any damage to existing trees or structures that may occur during the course of the project.
- The quantities on the tree list are for the convenience of the contractor. The contractor shall be responsible for any damage to existing trees or structures that may occur during the course of the project.
- The contractor shall be responsible for the own interests of the contractor. The contractor shall be responsible for any damage to existing trees or structures that may occur during the course of the project.
- The contractor shall be responsible for the own interests of the contractor. The contractor shall be responsible for any damage to existing trees or structures that may occur during the course of the project.

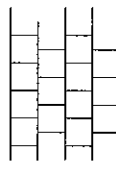
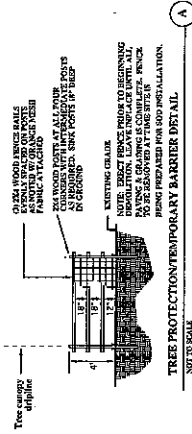
**TREE LEGEND**

TREE TO BE REMOVED  
 TREE TO BE REMAIN

**Median Landscape Notes**

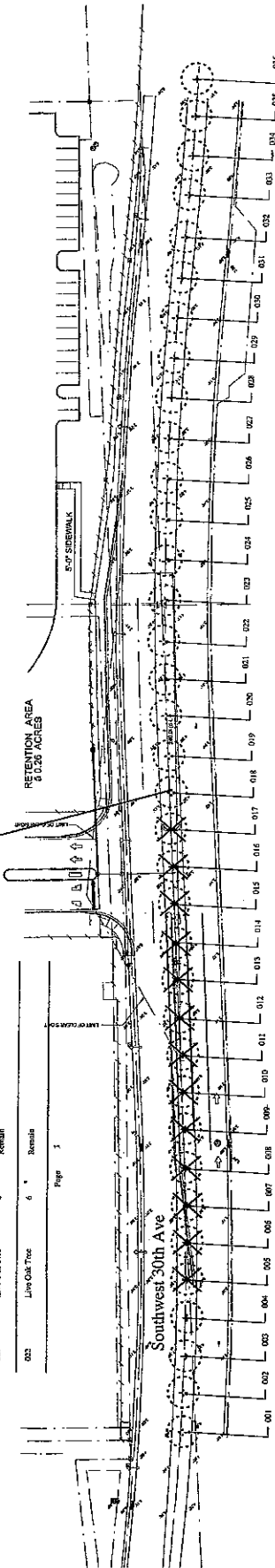
After tree removal, the contractor shall repair and replace all sodded medians effected by construction as per the details of the landscape plan sheet L-14.

All median trees within the project's length to remain shall be presented as per the PROTECTION DETAIL A of this sheet.



**TREE PROTECTION TEMPORARY BARRIER DETAIL**

NOT TO SCALE



LAND USE INDUSTRIAL

DATE	
REVISION	

Project: 18-22-13 JS  
 Scale: 1" = 20'  
 Date:      

FILE NO. PROJECT ISSUE

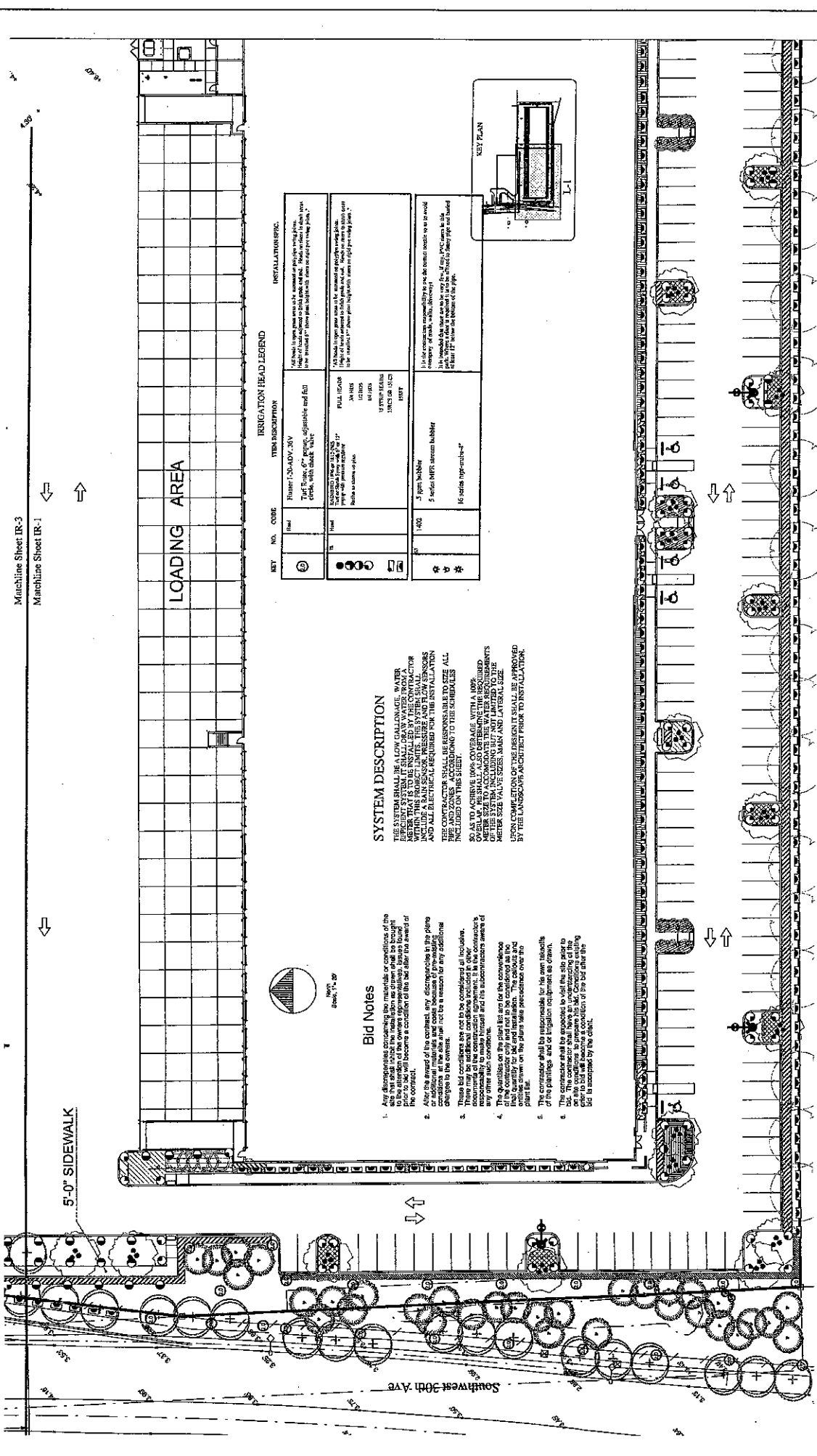
**James S. Smith**  
 Landscape Architect

**Bridgeport Marina Mile**  
 Danis Beach Beach, FL

**TREE DISPOSITION PLAN**

Sheet ID-11



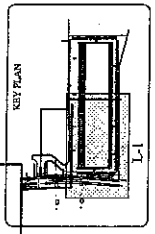


Matchline Sheet IR-3  
 Matchline Sheet IR-1

**LOADING AREA**

**5'-0" SIDEWALK**

Southwest 30th Ave



IRIGATION HEAD LEGEND

KEY	NO.	CODE	ITEM DESCRIPTION	INSTALLATION SPEC.
(1)	1	001	Rubber 1/2" dia. x 20' long, adjustable and full circle, with check valve	Verify the correct size of the rubber seal to the height of the structure to which it will be attached. Refer to notes in detail for installation instructions. These are subject to change. Verify the correct size of the rubber seal to the height of the structure to which it will be attached. Refer to notes in detail for installation instructions. These are subject to change.
(2)	2	002	1/2" dia. x 20' long, adjustable and full circle, with check valve	Verify the correct size of the rubber seal to the height of the structure to which it will be attached. Refer to notes in detail for installation instructions. These are subject to change.
(3)	3	003	1/2" dia. x 20' long, adjustable and full circle, with check valve	Verify the correct size of the rubber seal to the height of the structure to which it will be attached. Refer to notes in detail for installation instructions. These are subject to change.
(4)	4	004	5' dia. MFR access hubbub	Verify the correct size of the rubber seal to the height of the structure to which it will be attached. Refer to notes in detail for installation instructions. These are subject to change.
(5)	5	005	16 section type-sub-4"	Verify the correct size of the rubber seal to the height of the structure to which it will be attached. Refer to notes in detail for installation instructions. These are subject to change.

**SYSTEM DESCRIPTION**

THE SYSTEM SHALL BE A LOW GALLONAGE WATER EFFICIENT SYSTEM THAT SHALL DRAW WATER FROM A SOURCE WITHIN THE PROPERTY LINES. THE SYSTEM SHALL BE DESIGNED TO ACCOMMODATE THE WATER REQUIREMENTS WITHIN THE PROJECT LIMITS. THE SYSTEM SHALL BE DESIGNED TO ACCOMMODATE THE WATER REQUIREMENTS WITHIN THE PROJECT LIMITS. THE SYSTEM SHALL BE DESIGNED TO ACCOMMODATE THE WATER REQUIREMENTS WITHIN THE PROJECT LIMITS.

**Bid Notes**

- Any discrepancies concerning the materials or conditions of the site that were not indicated on the drawings shall be brought to the attention of the architect prior to bid. It will become a condition of the bid after the award of the contract.
- After the award of the contract, any discrepancies in the plans or conditions at the site shall not be a reason for any additional changes to the contract.
- These bid conditions are not to be considered all inclusive. The contractor shall be responsible for providing all necessary details and instructions for the construction of the project. It is the contractor's responsibility to make the necessary arrangements for the construction of the project.
- The quantities on the plan list are for the convenience of the contractor only and are not to be considered as a quantity list. The contractor shall be responsible for providing all necessary details and instructions for the construction of the project.
- The contractor shall be responsible for his own selection of the materials and for irrigation equipment as shown on the drawings. The contractor shall be responsible for providing all necessary details and instructions for the construction of the project.
- The contractor shall be responsible for his own selection of the materials and for irrigation equipment as shown on the drawings. The contractor shall be responsible for providing all necessary details and instructions for the construction of the project.

**IR-1**

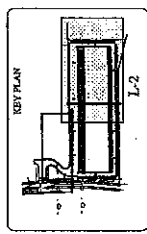
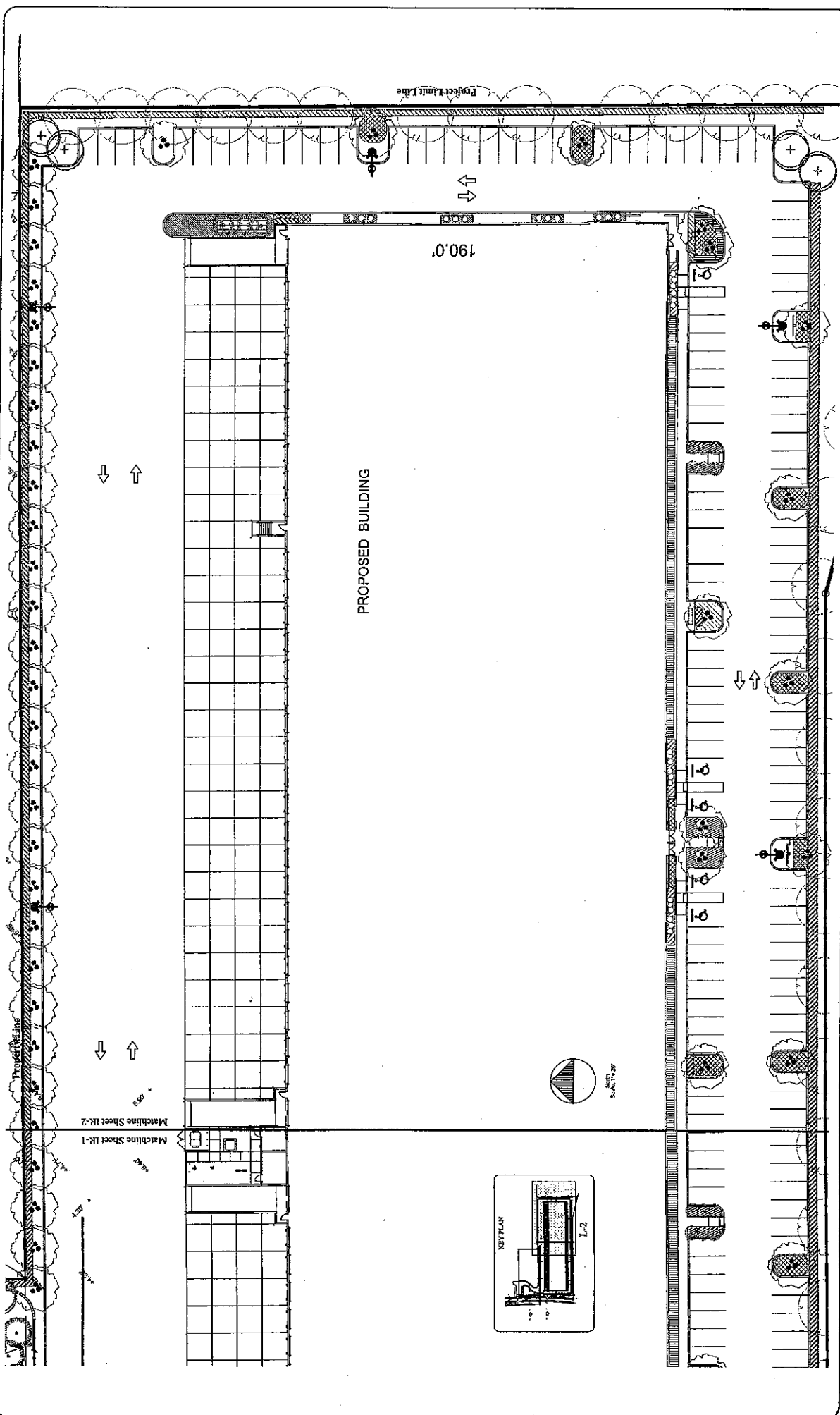
**Irrigation Plan**

**Bridgeport Marina Mile**  
 Dania Beach Beach, FL

**J. J. SQUIGGS**  
 Landscape Architect

Drawn: 10-22-13 JK Checked: _____ Date: _____	File No. _____ Project _____ Issue _____
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Irrigation Plan



Matchline Sheet IR-1  
Matchline Sheet IR-2

<b>Bridgeport Marina Mile</b> <small>Dania Beach Beach, FL</small>	
<b>Irrigation Plan</b>	
PROJECT: _____ SHEET: _____	FILE NO. _____ PROJECT _____ ISSUE _____
SCALE 1" = 20'	

# Irrigation Plan

## Bridgeport Marina Mile

Dania Beach Beach, FL



FILE NO. 21394

SCALE  
1" = 20'

DATE: 08-28-05  
ISSUE

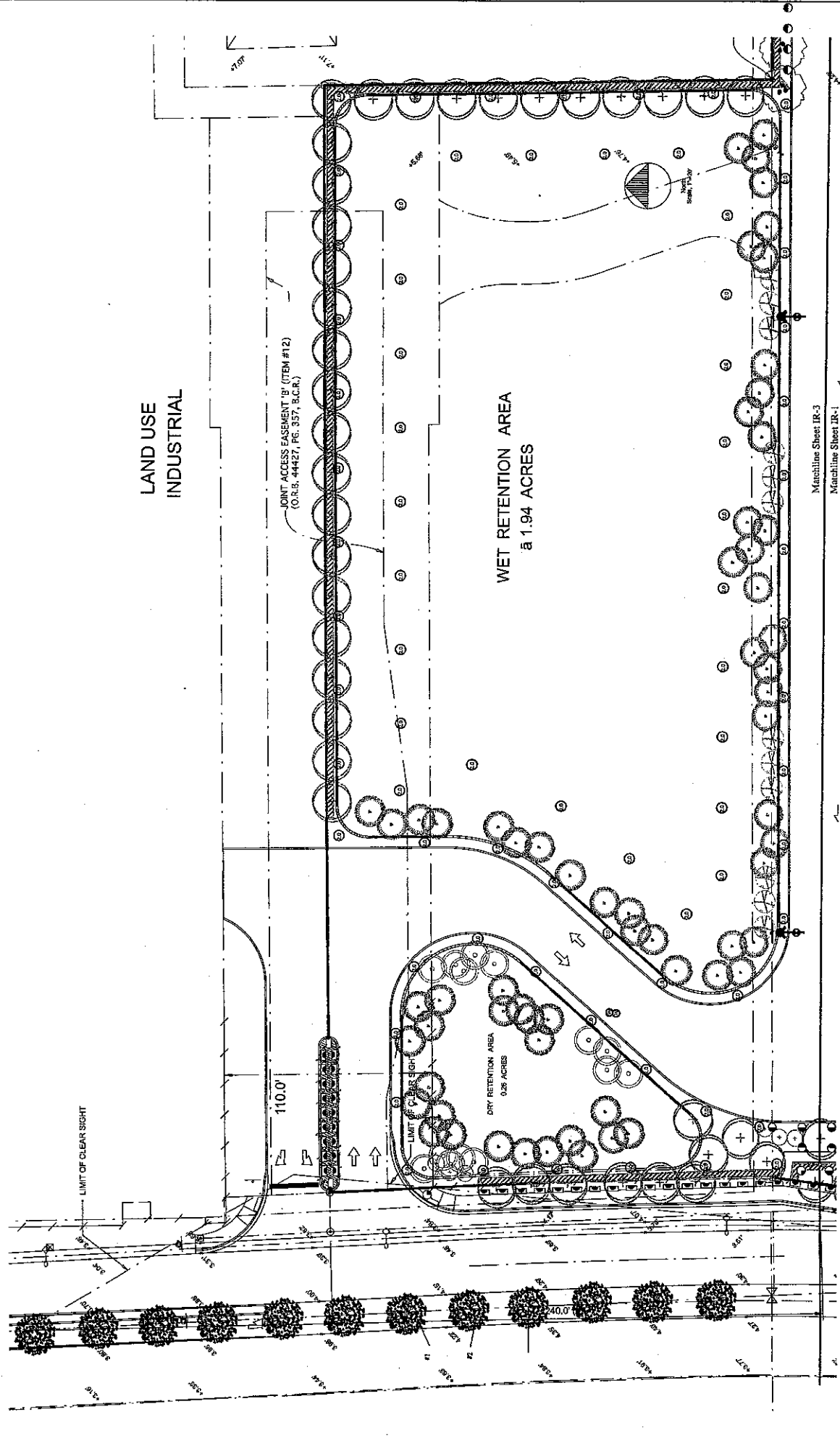
NO.	DATE	DESCRIPTION

LAND USE  
INDUSTRIAL

JOINT ACCESS EASEMENT 'B' (TBM #12)  
(O.R.B. 44427, PG. 357, B.C.M.)

WET RETENTION AREA  
a 1.94 ACRES

DRY RETENTION AREA  
0.26 ACRES



Marchline Sheet IR-3  
Marchline Sheet IR-1

IRRIGATION MASTER KEY

NO	SYM	CODE	ITEM DESCRIPTION
1	Flow	Flow	Flowmeter 1.5"ADV. 25' Turf Riser, 6" Riser, adjustable and full circle, with check valve.
2	Valve	Valve	Valve. 2" Valve, 10' long. 1/2" pipe with handle. 11.5" long. 1/2" pipe with handle. 11.5" long. 1/2" pipe with handle.
3	Control	Control	CONTROL VALVE. 2" VALVE, 10' long. 1/2" pipe with handle. 11.5" long. 1/2" pipe with handle.
4	Control	Control	CONTROL VALVE. 2" VALVE, 10' long. 1/2" pipe with handle. 11.5" long. 1/2" pipe with handle.
5	Control	Control	CONTROL VALVE. 2" VALVE, 10' long. 1/2" pipe with handle. 11.5" long. 1/2" pipe with handle.
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38	Control	Control	CONTROL VALVE. 2" VALVE, 10' long. 1/2" pipe with handle. 11.5" long. 1/2" pipe with handle.
39	Control	Control	CONTROL VALVE. 2" VALVE, 10' long. 1/2" pipe with handle. 11.5" long. 1/2" pipe with handle.
40	Control	Control	CONTROL VALVE. 2" VALVE, 10' long. 1/2" pipe with handle. 11.5" long. 1/2" pipe with handle.

48 HOURS BEFORE YOU DIG  
1-800-432-4770  
IT'S THE WAY IN FLORIDA

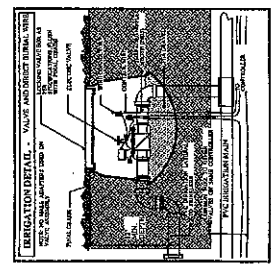
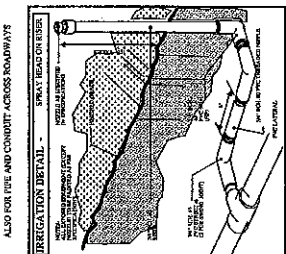
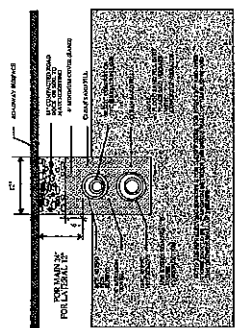
PIPE SIZING SCHEDULE 40

0-7 GPM	= 3/4"
15-22	= 1 1/8"
23-30	= 1 1/2"
31-50	= 2"
51-75	= 2 1/2"
76-110	= 3"

SLERVE UNDER ALL PAVEMENT ACCORDING TO THE SCHEDULE BELOW.

PIPE SIZE	SLEEVE SIZE
1"	2"
1 1/4"	2"
1 1/2"	3"
2"	4"
2 1/2"	4"
3"	6"

NOTE THAT NO SLEEVE SHALL BE LESS THAN 2"



NOTE: IRRIGATION CONTRACTOR SHALL NOT BE ALLOWED TO USE A MECHANICAL TRENCHER WHEN INSTALLING LATERAL MAINS AND/OR MAINS OR ANY OTHER MATERIAL NECESSARY FOR THE IRRIGATION SYSTEM WITHIN 10' FROM THE FACE OF AN EXISTING TREE ALL TRENCHESS WITHIN THE 10' OF THE TREE SHALL BE HAND DUG. ALL ROOTS EXPOSED SHALL BE CUT CLEANLY WITH NO JAGGED EDGES AND/OR TEARS.

THE IRRIGATION CONTRACTOR FOR THIS PROJECT SHALL BE RESPONSIBLE TO RUN ALL WIRES FROM THE POINT OF CONNECTION TO ALL VALVES. ANY CHANGE TO THE IRRIGATION EQUIPMENT BY THE CONTRACTOR SHALL BE SUBMITTED IN WRITING TO THE LANDSCAPE ARCHITECT.

ALL IRRIGATION EQUIPMENT SHALL BE INSTALLED PER THE SOUTH FLORIDA BUILDING CODE LATEST EDITION.

ALL WORK TO BE ACCOMPLISHED WITHIN PROPERTY LINES. ANY WORK SHOWN ON PLANS OUTSIDE OF PROPERTY LINES IS STRICTLY FOR GRAPHIC CLARITY. IRRIGATION IS SOMETIMES SHOWN IN ASPHALT, UNLESS OTHERWISE NOTED. THIS IS ALSO FOR GRAPHIC CLARITY. THE LINE SHOULD BE RUN ADJACENT TO THE HARDSCAPE IF POPS SHALL BE USED IN SOIL AREAS. IF POPS SHALL BE USED IN GROUND COVER BEGS. NO SMALLER SIZES SHALL BE USED.

THE LOCATION OF THE MAIN IS SCHEMATIC. THE MAIN SHALL BE LOCATED IN LANDSCAPE AREAS WITHIN PROPERTY LINES AND WILL NOT BE LESS THAN 12" FROM ANY PAVEMENT. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY AND CONSTRUCTION DOCUMENTS.

BRIDGEPORT MARINA MILE  
Dania Beach Beach, Fl

SAINT JUAN LANDSCAPE ARCHITECTS  
1100 W. 17th Street, Suite 200  
Miami, Florida 33134

SCALE: 1" = 20'

DATE: \_\_\_\_\_

DRAWN BY: \_\_\_\_\_

CHECKED BY: \_\_\_\_\_

PROJECT: \_\_\_\_\_

ISSUE: \_\_\_\_\_

FILE NO.: \_\_\_\_\_

IR-43



**NOTICE OF PUBLIC HEARINGS  
ON LAND DEVELOPMENT CODE AMENDMENTS  
CITY OF DANIA BEACH, FLORIDA**

A Public Hearing will be conducted by the City of Dania Beach City Commission meeting on the following date:

DATE: Tuesday, December 10, 2013  
TIME: 7:00 p.m. or as soon thereafter as the same may be heard  
PLACE: City Commission Chambers  
Dania Beach Administrative Center  
100 West Dania Beach Blvd.  
Dania Beach, FL 33004

**SP-45-13:** The applicant, LandPlan and Engineering Group, Inc. on behalf of the property owner, Bridge Marina Mile, LLC., is requesting site plan approval for the property located at the west side of SW 26 Terrace, between I-595 and SW 36 Street.

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF DANIA BEACH, FLORIDA, APPROVING THE SITE PLAN (SP-45-13) SUBMITTED BY BRIDGE DEVELOPMENT PARTNERS, LLC, ON BEHALF OF BRIDGE MARINA MILE, LLC, PROPERTY OWNER, FOR PROPERTY LOCATED ON THE WEST SIDE OF SW 26 TERRACE, BETWEEN I-595 AND SW 36 STREET IN THE CITY OF DANIA BEACH, FLORIDA; PROVIDING FOR CONFLICTS; FURTHER, PROVIDING FOR AN EFFECTIVE DATE.

***Legally described:*** Marina Mile

A parcel of land, being all of parcel "E", "Runway Lakes II", according to the plat, thereof as recorded in plat book 156, page 47, and a portion of parcel "A", "Isgette's Runway", according to the plat, thereof as recorded in plat book 158, page 18 and a portion of parcel "A", "DJP Airport West Plat, according to the plat, thereof as recorded in plat book 178, page 69, all of the public records of Broward County, Florida and being more particularly described as follows:

Commence at the northwest corner of said parcel "A", Isgette's Runway;

Thence N.89°20'00"E. along the northerly line of said parcel "A", a distance of 772.98 feet, to the point of beginning of the herein described parcel of land'

Thence S.01°57'05"E., a distance of 381.80 feet, to a reference point "A", said point being on the westerly extension of the north line of parcel "H", "Runway Lakes III", according to the plat thereof as recorded in plat book 156, page 44, of the public records of Broward County, Florida;

Thence N.88°49'41"E., along said westerly extension, a distance of 78.35 feet

Thence N.01°56'24"W., a distance of 381.11 feet, to a point on the northerly line of said parcel "A"

Thence S.89°20'00"W., along said northerly line, a distance of 78.44 feet, to the point of beginning.

Together with:

Commence at the aforementioned reference point "A";

Thence S.88°49'41"W., along the westerly extension of the north line of said parcel "H", a distance of 220.24 feet;

Thence S.00°54'54"E., a distance of 66.92 feet to the point of beginning of the herein described parcel of land;

Thence continue S.00°54'54"E., a distance of 217.33 feet, to a point on the southerly line of parcel "A", of said "Isgette's Runway" plat, said point also being on the northerly line of parcel "A", of said "DJP Airport West Plat";

Thence N.89°29'30"E., along said southerly and northerly line, a distance of 582.40 feet;

Thence S.00°53'44"E., a distance of 464.54 feet;

Thence N.76°15'15"W., a distance of 255.03 feet;

Thence S.89°36'37"W., a distance of 873.09 feet, last mentioned 2 courses being coincident with the southerly line of parcel "A", of said "DJP Airport West Plat"

Thence N.02°43'28"W., along the westerly line of said parcel "A", a distance of 301.05 feet;

Thence N.06°46'17"E., along said westerly line, a distance of 99.86 feet, to a point on the northerly line of parcel "A", of said "DJP Airport West Plat" said point also being on the southerly line of parcel "A", of said Isgette's Runway" Plat;

Thence N.06°20'14"E., a distance of 0.20 feet to a point on the arc of a non-tangent curve concave to the west a radial line of said curve through said point having a bearing of S.89°47'17"W.;

Thence northerly along the arc of said curve to the left, having a central angle of 02°25'59" and a radius of 2729.00 feet for an arc distance of 115.88 feet to a point on a non-tangent line;

Thence N.01°00'08"W., a distance of 1.04 feet;

Thence N.02°43'43"W., a distance of 98.85 feet;

Thence N.89°20'20"E., a distance of 537.85 feet to the point of beginning.

Said land situate within the City of Dania Beach, Broward County, Florida and containing 16.535 acres (720,255.71 square feet), more or less

Copies of the proposed requests are available for viewing in the Community Development Department, 100 West Dania Beach Boulevard, Dania Beach, Florida, and may be inspected by the public during normal business hours. For more information please call the Planning Division at (954) 924-6805 x3643.

In accordance with the Americans With Disabilities Act, persons needing assistance to participate in any of these proceedings should contact the City Clerk's office, 100 W. Dania Beach Blvd, Dania Beach, FL 33004, (954) 924-6800 x3623, at least 48 hours prior to the meeting.

Please be advised that if a person decides to appeal any decision made by Local Planning Agency, the Planning and Zoning Board or the City Commission with respect to any matter considered at this hearing, such person will need a verbatim record of the proceedings and for this purpose such person may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to based. The city does not provide or prepare such record pursuant to f.s. 286.0105.

Community Development Department  
Planning Division  
Publish: Friday November 29, 2013

